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**PROJECT NAME:** REPLACEMENT OF 3<sup>RD</sup> FLOOR CONCRETE SLAB AT  
GENESIS TOWERS  
**SPECIFICATION No.:** 2026-100-007  
**ADDENDUM No.:** 1  
**DATE ISSUED:** FRIDAY, MARCH 20, 2026

For which submissions were scheduled to be accepted in the office of the Gary Housing Authority, 578 Broadway, 2<sup>nd</sup> Floor, Gary, Indiana 46402, by 10:00 a.m. (CST) on Wednesday, March 25, 2026, for Specification No. 2026-100-007, Replacement of 3<sup>rd</sup> Floor Concrete Slab at Genesis Towers.

The following clarification(s), change(s), addition(s) and/or revision(s) will be incorporated into the Contract Documents. All other provisions and requirements, as originally set forth, in the procurement documents remain in force and are binding. Any additional work required by this Addendum will conform to the applicable provisions of the original documents.

<p><b>RESPONDENT MUST ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON THE APPROPRIATE SUBMISSION EXECUTION PAGE</b></p>
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#### **NOTICE OF CLARIFICATIONS, CHANGES, ADDITIONS, OR REVISIONS**

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QUESTIONS FROM BIDDERS, WITH RESPONSES FROM GARY HOUSING AUTHORITY AND ITS CONTRACTORS:

**Note 1:** Attached is the list of attendees for the pre-bid meeting and site visits.

**Question 1:** On sheet S-200 detail #5 drawing shows #4 rebar installed into existing slab, does new slab pour to existing, or their expansion material between the two and then sealed?

**Answer 1:**

The new concrete slab will be poured directly against the existing slab, with no expansion material between them.

**Question 2:** Plan S-200 indicates that there are nine (9) existing roof drains. After today's walk through, there only appears to be four (4). Are we just replacing the four (4) or are we replacing them all? The only four (4) that are existing are on the corners. All three (3) in the middle between column lines 4 & 5 as well as the middle two (2) between C & D are missing.

**Answer 2:**

During removal of the existing waterproofing membrane at the top of the concrete slab as part of the restoration of the 3<sup>rd</sup> floor deck, it was discovered that four (4) drains present in the corners were present

and operable but installed too high to allow water to drain adequately. These 4 drains will need to be reset lower to accommodate proper drainage prior to placement of the new concrete slab. At two other locations, drains had been removed during previous repairs, and their openings were covered with plywood and steel plate. A total of six (6) new drains will need to be installed to accommodate adequate drainage from the new slab. Locations of the new drains will need to be field verified based on slopes of the new concrete slab that could realistically be achieved to provide proper drainage. We project a total of 6 new drains along with 4 existing (to be adjusted) for proper drainage. An elevation survey will need to be conducted during construction to determine and verify the achievable slopes, and based on that, identify the exact locations of the new drains. The attached revised Drawing S-200 show a total of nine (9) drains, and we have requested an additional as a floater (if necessary).

END OF ADDENDUM #1

**Clarification: Nothing verbally discussed at the Pre-Bid meeting alters the Invitation for Bids, unless it appears in writing via an Addendum signed by Gary Housing Authority's Procurement & Contract Administrator.**

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Authorized Signature LaSherie Garmon  
Procurement & Contract Administrator

Date 3/20/2026



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File Name: C:\Users\andrew@wje\Work (on laptop)\2026\0261 - 578 BROADWAY 3RD FLOOR SLAB SHEETS\01 GENERAL NOTES.dwg

Printed: 2/25/2026 4:52 PM by Andrews, Sandi

**GENERAL NOTES:**

- DRAWINGS AND ASSOCIATED SPECIFICATIONS APPLY ONLY TO THE SPECIFIC PROJECT IDENTIFIED IN TITLE BLOCK AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT SPECIFIC WRITTEN CONSENT OF ARCHITECT/ENGINEER, ARCHITECT/ENGINEER'S SUB-CONSULTANTS, AND OWNER. ANY UNAUTHORIZED USE OF ARCHITECT/ENGINEER'S WORK PRODUCT SHALL BE AT USER'S SOLE RISK AND USER SHALL INDEMNIFY ARCHITECT/ENGINEER AGAINST ANY LIABILITY OR LEGAL EXPOSURE RELATED TO THE UNAUTHORIZED USE.
- DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY, ARE TO BE TAKEN AS A WHOLE, AND SHOULD INCLUDE SUFFICIENT INFORMATION NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK IN A MANNER CONSISTENT WITH THE DESIGN INTENT. IN THE ABSENCE OF EXPLICIT OR REASONABLY INFERRABLE INFORMATION ON DRAWINGS OR IN SPECIFICATIONS, PROMPTLY SEEK CLARIFICATION FROM ARCHITECT/ENGINEER AS A REQUEST FOR INFORMATION.
- SPECIFIED PRODUCTS ARE BELIEVED TO HAVE PROPERTIES ADEQUATE FOR THE INTENDED PURPOSE. IF CONTRACTOR HAS PREVIOUSLY FOUND SPECIFIED PRODUCTS TO BE UNACCEPTABLE FOR ANY REASON, CONTRACTOR SHALL PROMPTLY INFORM ARCHITECT/ENGINEER AS A REQUEST FOR SUBSTITUTION.
- PROMPTLY REPORT TO ARCHITECT/ENGINEER AS A REQUEST FOR INFORMATION KNOWN OR SUSPECTED ERRORS, INCONSISTENCIES, OR OMISSIONS WITHIN OR BETWEEN DRAWINGS AND SPECIFICATIONS AS WELL AS KNOWN OR SUSPECTED VARIANCE OF DRAWINGS AND SPECIFICATIONS FROM EXISTING CONDITIONS. FOR BIDDING PURPOSES ONLY AND UNLESS OTHERWISE DIRECTED BY ARCHITECT/ENGINEER, THE MORE STRINGENT REQUIREMENT OR BETTER QUALITY SHALL TAKE PRECEDENCE.
- DIMENSIONS, QUANTITIES, AND GEOMETRIES PROVIDED FOR EXISTING CONSTRUCTION ARE BASED ON ORIGINAL DRAWINGS AND LIMITED FIELD DOCUMENTATION BY ARCHITECT/ENGINEER. FIELD VERIFY APPLICABLE INFORMATION PRIOR TO SUBMITTING A BID, ORDERING MATERIALS, OR OTHERWISE COMMITTING RESOURCES TO THE WORK. PROVIDED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- PROVIDE LABOR, MATERIALS, EQUIPMENT, SUPERVISION, AND COORDINATION DIRECTLY AND INCIDENTALLY NECESSARY TO PERFORM THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- ACTIVITIES OR DUTIES OF ARCHITECT/ENGINEER OR TESTS, INSPECTIONS, OR APPROVALS REQUIRED OR PERFORMED BY THIRD PARTIES SHALL NOT RELIEVE CONTRACTOR OF ITS OBLIGATION TO PERFORM THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- SECURE AND PAY FOR ALL PERMITS, FEES, LICENSES, AND INSPECTIONS BY GOVERNMENT AGENCIES NECESSARY FOR PROPER AND COMPLIANT EXECUTION AND COMPLETION OF THE WORK.
- COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, STATUTES, ORDINANCES, CODES, RULES AND REGULATIONS, AND LAWFUL ORDERS OF AUTHORITIES HAVING JURISDICTION APPLICABLE TO THE WORK.
- SUPPLY OWNER WITH SAFETY DATA SHEETS (SDS) FOR EACH CHEMICAL THAT WILL BE BROUGHT ONTO OWNER'S PROPERTY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR, AND SHALL HAVE SOLE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK. ARCHITECT/ENGINEER HAS NO SUCH RESPONSIBILITIES. SPECIFIC INSTRUCTION THAT MAY BE GIVEN IN CONTRACT DOCUMENTS CONCERNING CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES SHALL NOT RELIEVE CONTRACTOR OF ITS RESPONSIBILITY FOR CONTROL AND COORDINATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE WORK. ARCHITECT/ENGINEER HAS NO SUCH RESPONSIBILITIES BEYOND ITS OWN EMPLOYEES.
- THE WORK WILL BE PERFORMED AT AN OCCUPIED AND OPERATIONAL FACILITY. COORDINATE CONSTRUCTION ACTIVITIES AND PROCEDURES WITH OWNER TO (A) MAINTAIN UNOBSTRUCTED EXISTING MEANS OF EGRESS FROM FACILITY; (B) COMPLY WITH FACILITY'S EXISTING SECURITY PROCEDURES AND REQUIREMENTS; AND (C) PROVIDE NOT LESS THAN 48 HOURS ADVANCE NOTICE TO AND GAIN APPROVAL FROM OWNER PRIOR TO CONSTRUCTION ACTIVITIES THAT WILL DISRUPT NORMAL USE OF FACILITY (INCLUDING EXCEPTIONAL NOISE AND/OR VIBRATIONS, UNCONTROLLED DUST, OBTRUSIVE ODORS, OR INTERRUPTIONS OF UTILITIES). WORK NOT COORDINATED AND APPROVED IN ADVANCE THAT DISRUPTS THE NORMAL USE OF THE FACILITY MAY BE STOPPED UNTIL PROPER COORDINATION AND APPROVAL IS ACHIEVED. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A CONSEQUENCE OF STOPPAGE.
- SUBMIT PROPOSED DEMOLITION AND CONSTRUCTION SCHEDULES TO OWNER AND ARCHITECT/ENGINEER PRIOR TO BEGINNING WORK. PROCEED WITH THE WORK ONLY AFTER A MUTUALLY AGREEABLE SCHEDULE HAS BEEN ESTABLISHED. REGULARLY REVISE SCHEDULE TO REFLECT PROGRESS OF THE WORK.
- MAINTAIN PREMISES AND SURROUNDING AREA FREE FROM ACCUMULATIONS OF WASTE MATERIAL AND RUBBISH RESULTING FROM THE WORK.
- COORDINATE LOCATIONS OF ON-SITE STORAGE OF MATERIALS AND EQUIPMENT WITH OWNER SO AS TO NOT UNREASONABLY ENCUMBER FACILITY OR SITE.
- DO NOT ALLOW CONSTRUCTION MATERIALS, EQUIPMENT, OR PROCEDURES TO OVERLOAD OR EXCEED THE STRUCTURAL CAPACITY OF EXISTING CONSTRUCTION TO REMAIN, PARTIALLY COMPLETED WORK, OR COMPLETED WORK. MAKE INSPECTIONS AND/OR PERFORM ANALYSES AND TESTS NECESSARY TO VERIFY THAT EXISTING ELEMENTS HAVE ADEQUATE CAPACITY TO SUPPORT PROPOSED CONSTRUCTION LOADS.
- DRAWINGS ILLUSTRATE THE COMPLETED WORK WITH ELEMENTS IN THEIR FINAL INTENDED POSITIONS. PROVIDE SHORING, BRACING, SUPPORT, AND SEQUENCE WORK AS REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF NEW OR EXISTING CONSTRUCTION DURING THE WORK.
- TEMPORARILY RELOCATE AND RESTORE EXISTING EQUIPMENT AND APPURTENANCES (WHETHER OR NOT SHOWN ON THE DRAWINGS) THAT OBSTRUCT ACCESS TO PORTIONS OF THE WORK.
- DEVELOP, IMPLEMENT, ERECT, AND MAINTAIN SAFEGUARDS TO PREVENT DAMAGE, INJURY, OR LOSS RESULTING FROM THE WORK TO (A) WORKERS, OCCUPANTS, PASSERS-BY, AND OTHER PERSONS; (B) IN-PROGRESS WORK, MATERIALS, AND EQUIPMENT UNDER CARE, CUSTODY, AND CONTROL OF THE CONTRACTOR (WHETHER ON OR OFF SITE); AND (C) OTHER PROPERTY AT THE SITE OR ADJACENT THERETO NOT DESIGNATED AS PART OF THE WORK FOR REMOVAL, RELOCATION, OR REPLACEMENT. IN THE EVENT OF DAMAGE, INJURY, OR LOSS, PROMPTLY NOTIFY ARCHITECT/ENGINEER AND PRESENT PROPOSED REMEDY.
- DEVELOP, IMPLEMENT, ERECT, AND MAINTAIN SAFEGUARDS TO PROVIDE FOR WATERTIGHT INTEGRITY OF WORK IN PROGRESS. IN THE EVENT OF DAMAGE, INJURY, OR LOSS, PROMPTLY NOTIFY ARCHITECT/ENGINEER AND PRESENT PROPOSED REMEDY.
- IN AN EMERGENCY AFFECTING SAFETY OF PERSONS OR PROPERTY, ACT TO PREVENT OR STOP FURTHER DAMAGE, INJURY, OR LOSS.
- ALL WORK SHALL BE SUBJECT TO REVIEW BY ARCHITECT/ENGINEER BEFORE IT IS CONCEALED BY OTHER WORK AND/OR MEANS OF ACCESS IS REMOVED. COORDINATE MANDATORY REVIEWS WITH ARCHITECT/ENGINEER PRIOR TO START OF CONSTRUCTION. PROVIDE REASONABLE NOTIFICATION TO ARCHITECT/ENGINEER TO ALLOW FOR SUCH REVIEW AS WORK PROCEEDS.
- PROMPTLY CORRECT WORK REJECTED BY ARCHITECT/ENGINEER OR FAILING TO CONFORM TO REQUIREMENTS OF THE CONTRACT DOCUMENTS. ASSOCIATED COSTS (INCLUDING ADDITIONAL TESTING OR INSPECTIONS, COST OF UNCOVERING AND CORRECTION, AND COMPENSATION FOR ARCHITECT/ENGINEER'S SERVICES AND EXPENSES MADE NECESSARY THEREBY) SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- IF A HAZARDOUS MATERIAL OR SUBSTANCE NOT ADDRESSED IN THE CONTRACT DOCUMENTS IS ENCOUNTERED, IMMEDIATELY STOP WORK IN AFFECTED AREA AND NOTIFY OWNER AND ARCHITECT/ENGINEER OF THE CONDITION.

**STRUCTURAL NOTES:**

- APPLICABLE CODES:
- 2020 INDIANA RESIDENTIAL CODE
  - 2012 INTERNATIONAL BUILDING CODE (IBC)
  - 2102 INTERNATIONAL FIRE CODE (IFC)
  - 2012 INTERNATIONAL MECHANICAL CODE (IMC)
  - 2012 INTERNATIONAL FUEL GAS CODE (IFGC)
  - 2006 INTERNATIONAL PLUMBING CODE (IPC)
  - 2008 NATIONAL ELECTRIC CODE (NEC)
- LOADS**
- SUPERIMPOSED DEAD LOADS: AS SHOWN IN DRAWINGS
- LIVE LOAD: 100 PSF
- SNOW LOAD: 25 PSF
- MATERIAL NOTES**
- CONCRETE:
    - 28-DAY MIN. COMPRESSIVE STRENGTH: 4,000 PSI
    - AGGREGATE GRADATION: ASTM C33, NO. 67
    - AIR CONTENT: 6 PERCENT +/- 1.5 PERCENT
    - SLUMP: 4 +/- 1 INCH
    - MAX. WATER/CEMENT RATIO: 0.45
    - FOR CONCRETE PLACED IN COLD WEATHER, FOLLOW GUIDELINES OF ACI 306. MAINTAIN CONCRETE AT A MINIMUM TEMPERATURE OF 50 DEGREES F FOR NO LESS THAN 6 DAYS AFTER PLACEMENT.
  - SUBMITTALS FOR CONCRETE:
    - DESIGN MIXES FOR EACH CONCRETE MIX, INCLUDING REQUIRED TEST REPORTS:
      - PROPORTIONS OF MATERIALS.
      - MILL TEST CERTIFICATES FOR CEMENT AND FLY ASH.
      - SIEVE ANALYSIS FOR FINE AND COARSE AGGREGATE.
      - TEST RESULTS FOR DELETERIOUS SUBSTANCES IN AGGREGATES AND POTENTIAL AGGREGATE REACTIVITY.
      - SLUMP DURING LABORATORY TESTS.
      - AIR CONTENT DURING LABORATORY TESTS.
      - 3-, 7-, AND 28-DAY LABORATORY COMPRESSION TEST RESULTS. MINIMUM 3 CYLINDERS AT EACH TEST AGE.
      - INDICATE:
        - AMOUNT OF MIX WATER TO BE WITHHELD FOR LATER ADDITION AT SITE.
        - RANGE OF HIGH-RANGE, WATER-REDUCING ADMIXTURE DOSAGE THAT MAY BE ADDED AT SITE WITHOUT ADVERSELY AFFECTING HARDENED CONCRETE.
    - FIELD QUALITY CONTROL: BATCH TICKETS FOR READY-MIX CONCRETE.
  - FIELD QUALITY CONTROL FOR CONCRETE:
    - SUBMIT BATCH TICKETS FOR READY-MIX CONCRETE.
    - TESTING AGENCY: CONTRACTOR WILL ENGAGE QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS AND PERFORM TESTS DURING CONCRETE PLACEMENT.
    - TESTING SERVICES: SAMPLING AND TESTING OF COMPOSITE SAMPLES OF FRESH CONCRETE SHALL BE PERFORMED ACCORDING TO FOLLOWING REQUIREMENTS:
      - TESTING FREQUENCY: OBTAIN ONE COMPOSITE SAMPLE OF CONCRETE MIX FOR EACH DAY'S POUR.
      - TAKE SAMPLES FROM TRANSPORT VEHICLE OR MIXER DURING DISCHARGE ACCORDING TO ASTM C172. TAKE SAMPLES AT OTHER LOCATIONS IF DIRECTED BY ENGINEER.
      - SLUMP: ASTM C143/C143M; ONE TEST FOR SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE. IF HIGH-RANGE, WATER-REDUCING ADMIXTURE IS USED, PERFORM ONE TEST PRIOR TO ADDING ADMIXTURE.
      - AIR CONTENT: ASTM C231/C231M; ONE TEST FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF CONCRETE MIX.
      - CONCRETE TEMPERATURE: ASTM C1064/C1064M; ONE TEST FOR COMPOSITE SAMPLE; AND ONE TEST HOURLY WHEN AIR TEMPERATURE IS 40 DEGREES F AND BELOW OR 80 DEGREES F AND ABOVE.
      - COMPRESSION TEST SPECIMENS: ASTM C31/C31M.
        - CAST A MINIMUM OF 4 STANDARD CYLINDER SPECIMENS FOR COMPOSITE SAMPLE. IMMEDIATELY AFTER SAMPLE IS TAKEN, STORE SPECIMENS AT SITE FOR AT LEAST 16 HOURS AT TEMPERATURE OF 60 TO 80 DEGREES F. PROVIDE TEMPERATURE-CONTROLLED BOX OR OTHER ENCLOSURE IF NECESSARY. AFTER AT LEAST 16 HOURS, BUT NOT MORE THAN 30 HOURS, TRANSPORT SPECIMENS TO LABORATORY AND AIR CURE PER ASTM C31.
        - IF REQUESTED BY ENGINEER, TAKE 3 ADDITIONAL CYLINDER SPECIMENS AND FIELD CURE IN VICINITY OF AREA THAT THEY REPRESENT AND IN SAME MANNER AS THAT PORTION OF STRUCTURE.
      - COMPRESSIVE-STRENGTH TESTS: ASTM C39/C39M.
        - TEST ONE LABORATORY-CURED SPECIMEN AT 7 DAYS AND 2 AT 28 DAYS. HOLD 4TH SPECIMEN IN RESERVE IN CASE ADDITIONAL TESTING IS REQUIRED.
        - TEST ONE FIELD-CURED SPECIMEN AT 7 DAYS AND 2 AT 28 DAYS.
    - TEST RESULTS SHALL BE REPORTED IN WRITING TO OWNER'S REPRESENTATIVE, ENGINEER, CONCRETE SUPPLIER, AND CONTRACTOR WITHIN 48 HOURS OF TESTING. REPORTS OF COMPRESSIVE-STRENGTH TESTS SHALL CONTAIN:
      - SPECIMEN NUMBER, CYLINDER SIZE, DATES OF COMPRESSION TESTS, COMPRESSIVE BREAKING STRENGTHS AND TYPES OF BREAK FOR 7- AND 28-DAY TESTS, AND MEASURED SLUMP, AIR CONTENT, AND AIR AND CONCRETE TEMPERATURES.
      - STATEMENT THAT INDICATES WHETHER TEST RESULTS ARE IN CONFORMANCE WITH SPECIFICATIONS.
    - CONCRETE STRENGTH IS SATISFACTORY IF AVERAGE OF TWO 28-DAY COMPRESSIVE-STRENGTH TESTS IN EACH SET OF SPECIMENS EQUALS OR EXCEEDS SPECIFIED 28-DAY COMPRESSIVE STRENGTH.
    - IF ANY 7-DAY COMPRESSIVE-STRENGTH TEST RESULT IS LESS THAN 75 PERCENT OF SPECIFIED 28-DAY COMPRESSIVE STRENGTH, SUBMIT REVISED MIX DESIGN DATA FOR CONCRETE THAT WILL CONFORM TO SPECIFICATIONS.
    - NON-CONFORMING CONCRETE:
      - IF TESTS INDICATE THAT CONCRETE IS NOT IN CONFORMANCE WITH SPECIFICATION, REMOVE AND REPLACE NON-CONFORMING CONCRETE OR PERFORM FOR ADDITIONAL TESTING, ACCEPTABLE TO ENGINEER, TO VERIFY CONFORMANCE WITH SPECIFICATION, AT NO COST TO OWNER.
      - PROCURE CORE SAMPLES IN ACCORDANCE WITH ASTM C42/C42M.
      - IF TESTS INDICATE THAT SLUMP, AIR ENTRAINMENT, OR OTHER REQUIREMENTS HAVE NOT BEEN MET, EXAMINE CORE SAMPLES PETROGRAPHICALLY, ACCORDING TO ASTM C856, TO EVALUATE HARDENED CONCRETE CHARACTERISTICS.

**CONCRETE PLACEMENT**

- CONVEY CONCRETE FROM MIXER TO PLACE OF DEPOSIT IN MANNER SUCH THAT NO SEGREGATION OR LOSS OF MATERIALS OCCURS.
- DEPOSIT CONCRETE:
  - PLACE CONCRETE AS NEAR AS POSSIBLE TO ITS FINAL POSITION TO AVOID SEGREGATION DUE TO RE HANDLING OR FLOWING.
  - DO NOT ALLOW CONCRETE TO FALL VERTICAL DISTANCE GREATER THAN 4 FEET FROM POINT OF DISCHARGE TO POINT OF DEPOSIT.
  - DO NOT ALLOW CONCRETE TO DISTURB OR DISPLACE REINFORCING BARS, FLOOR DRAINS, OR OTHER EMBEDMENTS.
  - PLACE CONCRETE AT RATE SO THAT CONCRETE IS PLASTIC AND FLOWS READILY INTO CORNERS OF FORMS AND INTO SPACES AROUND REINFORCING BARS.
  - PLACE CONCRETE CONTINUOUSLY UNTIL SECTION IS COMPLETED, WITH NO COLD JOINTS.
  - DISPOSE OF CONCRETE THAT HAS PARTIALLY SET PRIOR TO PLACEMENT OR THAT HAS BEEN CONTAMINATED BY FOREIGN MATERIAL.
  - CONSOLIDATE CONCRETE WITH MECHANICAL VIBRATING EQUIPMENT, SO THAT CONCRETE IS THOROUGHLY WORKED AROUND REINFORCEMENT AND OTHER EMBEDDED ITEMS AND INTO CORNERS.
  - USE INTERNAL VIBRATORS WITH MINIMUM SPEED OF 7,000 VIBRATIONS PER MINUTE AND THAT ARE SUFFICIENTLY NARROW TO FIT INTO SPACES BETWEEN REINFORCING BARS, FORMWORK, AND EXISTING CONCRETE. HAVE EXTRA VIBRATORS AT SITE IN CASE VIBRATOR DOES NOT WORK.
  - DO NOT USE VIBRATORS TO TRANSPORT CONCRETE.
  - INSERT AND WITHDRAW VIBRATORS VERTICALLY AT UNIFORM SPACED LOCATIONS NO FARTHER APART THAN VISIBLE EFFECTIVENESS OF VIBRATOR.
  - AT EACH INSERTION, LIMIT DURATION OF VIBRATION TO TIME NECESSARY TO CONSOLIDATE CONCRETE WITHOUT CAUSING MIX CONSTITUENTS TO SEGREGATE.
- FINISHING TOP SURFACES
  - MEDIUM-BROOM FINISH: APPLY MEDIUM-BROOM FINISH ON TOP SURFACES SUBJECTED TO RECEIVE WATERPROOFING MEMBRANE.
  - DO NOT WET CONCRETE SURFACES OR ADD CEMENT
- CONCRETE CURING
  - GENERAL: WET CURE TO BE USED. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. MAINTAIN CONCRETE ABOVE 55 DEGREES F AND IN MOIST CONDITION FOR AT LEAST 7 DAYS AFTER PLACING.
  - UNFORMED TOP SURFACES: BEGIN CURING IMMEDIATELY AFTER FINISHING CONCRETE. USE MOISTURE-RETAINING COVER.
    - PLACE COVER IN WIDEST PRACTICABLE WIDTH, WITH SIDES AND ENDS LAPPED AT LEAST 12 INCHES.
    - SEAL SIDES AND ENDS OF COVER BY HOLDING DOWN WITH CONCRETE PIECES, OR SOME OTHER WEIGHT, OR BY USING WATERPROOF TAPE OR ADHESIVE.
    - IMMEDIATELY REPAIR HOLES OR TEARS IN COVER DURING CURING PERIOD USING COVER MATERIAL AND WATERPROOF TAPE.
    - RE-WET CONCRETE SURFACE AT LEAST TWICE DAILY AS NECESSARY.
- REINFORCEMENT:
  - ASTM A615, GRADE 60
  - ALL BARS SHALL BE EPOXY-COATED IN CONFORMANCE WITH ASTM A775
  - FOR BAR SIZES AND LAYOUT SEE DRAWING S-200
- STRUCTURAL ADHESIVE:
  - HIT-HY 200-RV3 BY HILTI, OR APPROVED EQUAL



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**Wiss, Janney, Elstner Associates, Inc.**  
330 Pflugsten Road  
Northbrook, Illinois 60062  
847.272.7400

**FOR BID**

**CONSULTANT**

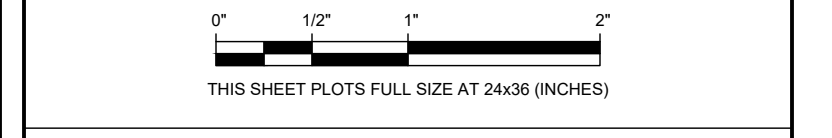
**PROJECT**

GENESIS TOWERS  
SENIOR HOUSING  
REPLACEMENT OF 3RD  
FLOOR CONCRETE SLAB  
578 BROADWAY  
GARY, INDIANA 46402

**CLIENT**

THE GARY HOUSING AUTHORITY  
DEPARTMENT OF  
PROCUREMENT SERVICES  
578 BROADWAY, 2ND FLOOR  
GARY, INDIANA 46402

**MARK DATE DESCRIPTION**



PROJECT NO.	2026.0261
DATE	FEBRUARY 25, 2026
DRAWN	SKA
REVIEWED	DV/PLP
SHEET TITLE	

**GENERAL NOTES**

**SHEET NO.**

**S-001**



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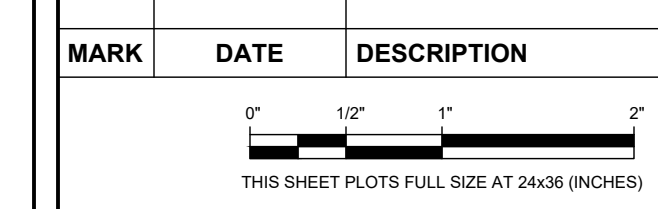
**Wiss, Janney, Elstner Associates, Inc.**  
 330 Pfingsten Road  
 Northbrook, Illinois 60062  
 847.272.7400 tel

**FOR BID**

CONSULTANT

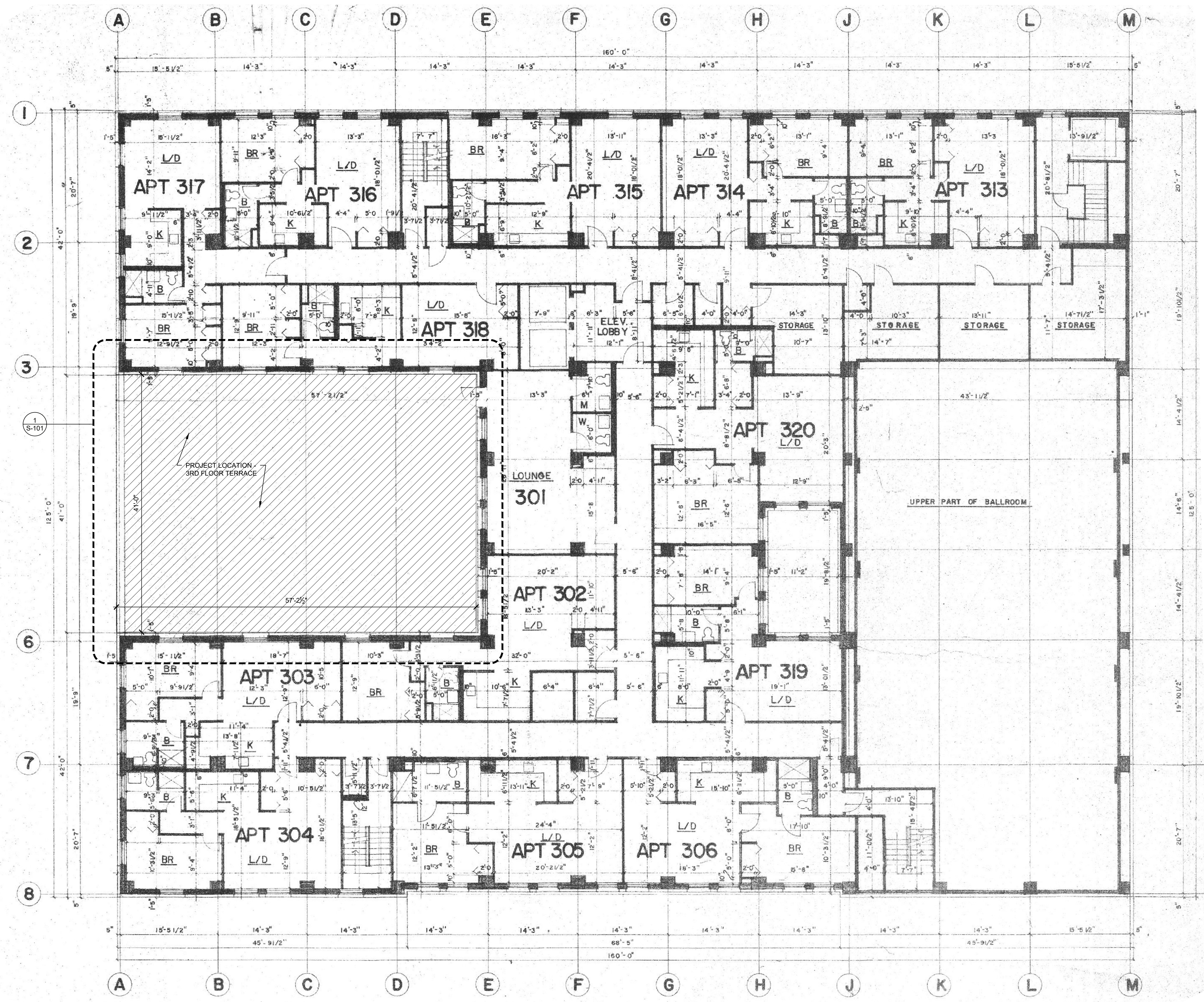
PROJECT  
**GENESIS TOWERS  
 SENIOR HOUSING  
 REPLACEMENT OF 3RD  
 FLOOR CONCRETE SLAB**  
 578 BROADWAY  
 GARY, INDIANA 46402

CLIENT  
**THE GARY HOUSING AUTHORITY  
 DEPARTMENT OF  
 PROCUREMENT SERVICES**  
 578 BROADWAY, 2ND FLOOR  
 GARY, INDIANA 46402

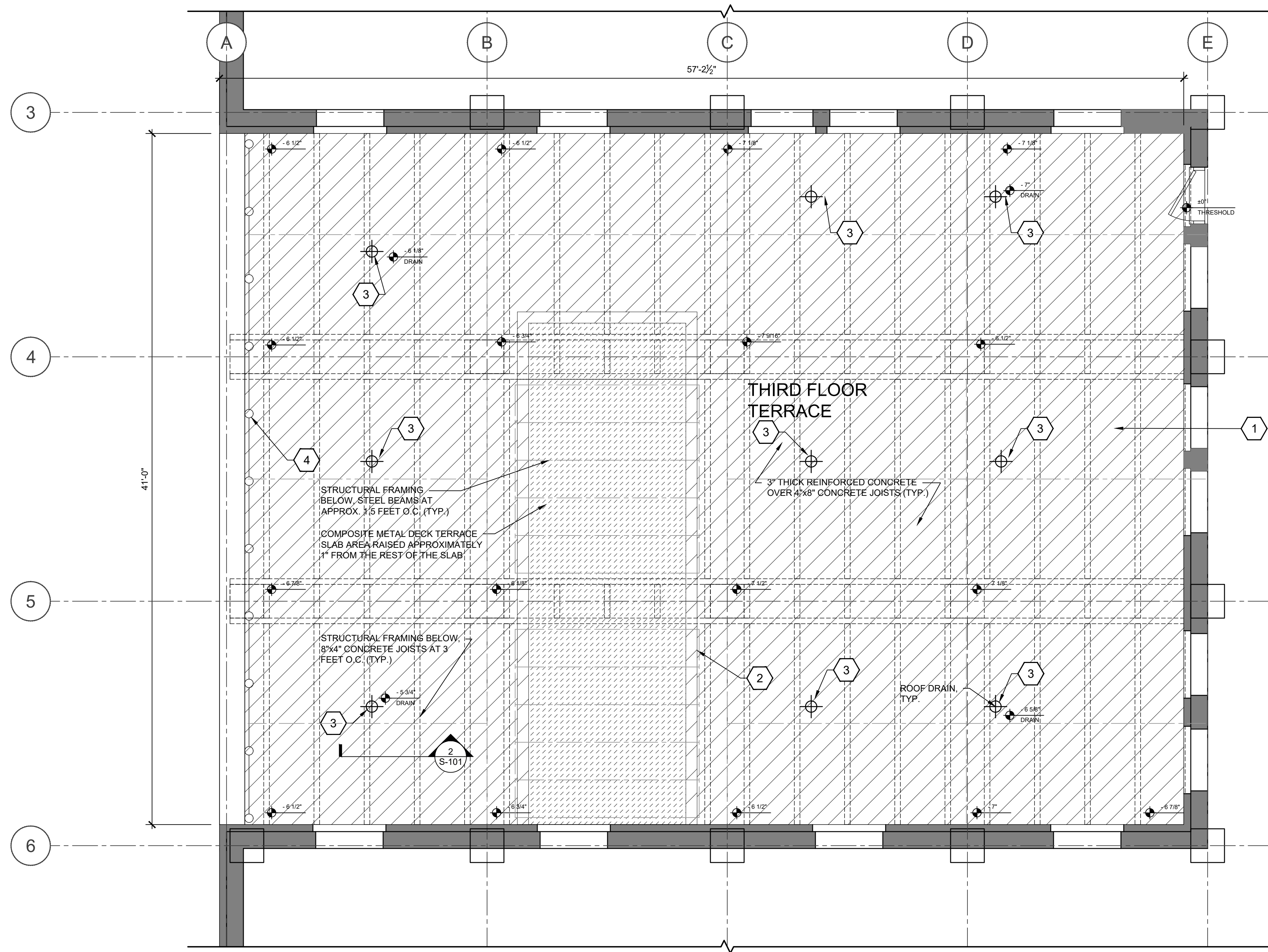


PROJECT NO.	2026.0261
DATE	FEBRUARY 25, 2026
DRAWN	SKA
REVIEWED	DV/PLP
SHEET TITLE	

**THIRD FLOOR PLAN  
 VIEW**  
 SHEET NO. **S-100**

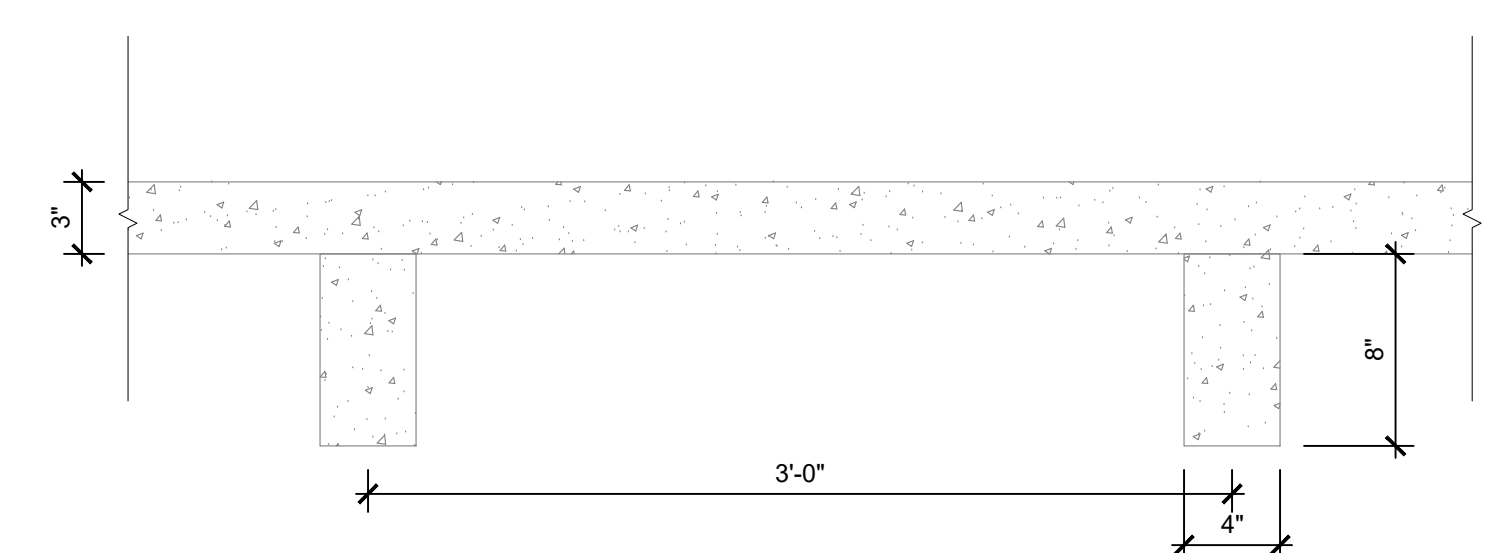


**1 THIRD FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**1** THIRD FLOOR TERRACE - PLAN VIEW AND ELEVATION SURVEY  
 SCALE: 1/4" = 1'-0"

NOTE:  
 ELEVATIONS WERE MEASURED AT THE TOP OF THE EXISTING MODIFIED BITUMINOUS ROOFING MEMBRANE, APPROXIMATELY 3/8 INCHES THICK. ELEVATION 0.0' WAS TAKEN AT THE TOP OF THE DOOR THRESHOLD.



**2** SECTION - EXISTING CONDITIONS  
 SCALE: 1/12" = 1'-0"

SCOPE OF WORK FOR DEMOLITION	
1	REMOVE AND DISPOSE OF EXISTING 3" THICK CONCRETE FLOOR SLAB AND CAST NEW 3" CONCRETE FLOOR SLAB, SEE DRAWING S-200 FOR DESIGN OF NEW SLAB. PROVIDE ELEVATION SURVEY PRIOR TO DEMOLITION.
2	COMPOSITE DECK TO REMAIN IN PLACE. SURVEY ELEVATIONS OF THE COMPOSITE DECK PRIOR TO INSTALLATION OF THE NEW CONCRETE SLAB AROUND IT. PROVIDE GRADUAL TRANSITION BETWEEN THE COMPOSITE DECK AND NEW SLAB TOWARD DRAINS.
3	EXISTING FLOOR DRAINS TO REMAIN IF IN GOOD CONDITION. IF NOT, FLOOR DRAINS TO BE REPLACED WITH NEW. IF ADEQUATE SLOPE TOWARDS THE EXISTING DRAINS COULD NOT BE ACHIEVED, PROVIDE AND INSTALL SUPPLEMENTAL DRAINS.
4	EXISTING ALUMINUM RAILING TO REMAIN IN PLACE



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 San Diego | San Francisco | Seattle | South Florida | Washington, DC

**Wiss, Janney, Elstner Associates, Inc.**  
 330 Pfingsten Road  
 Northbrook, Illinois 60062  
 847.272.7400 tel

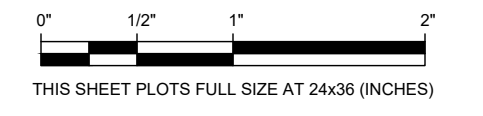
**FOR BID**

CONSULTANT

PROJECT  
**GENESIS TOWERS  
 SENIOR HOUSING  
 REPLACEMENT OF 3RD  
 FLOOR CONCRETE SLAB**  
 578 BROADWAY  
 GARY, INDIANA 46402

CLIENT  
**THE GARY HOUSING AUTHORITY  
 DEPARTMENT OF  
 PROCUREMENT SERVICES**  
 578 BROADWAY, 2ND FLOOR  
 GARY, INDIANA 46402

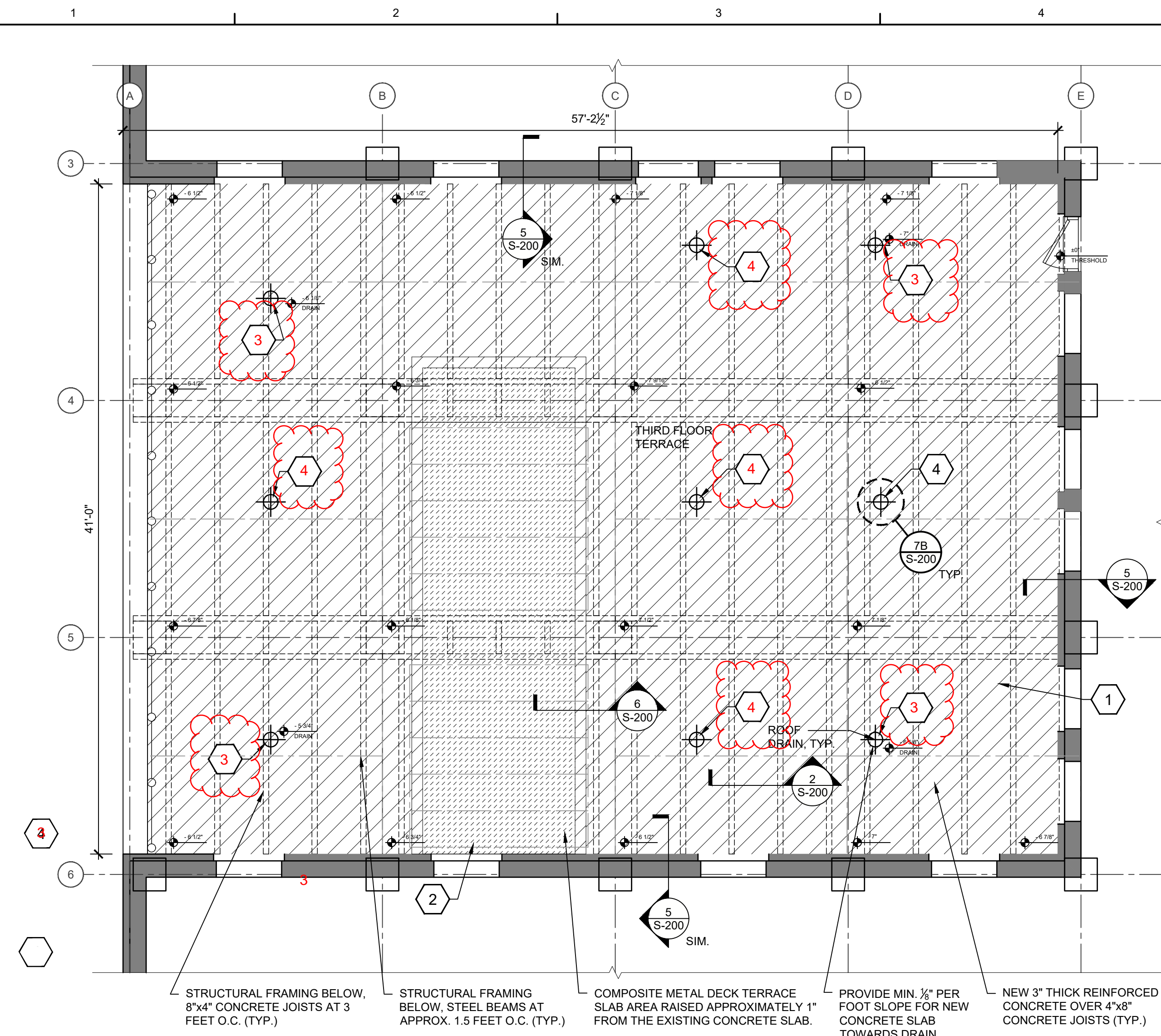
MARK	DATE	DESCRIPTION



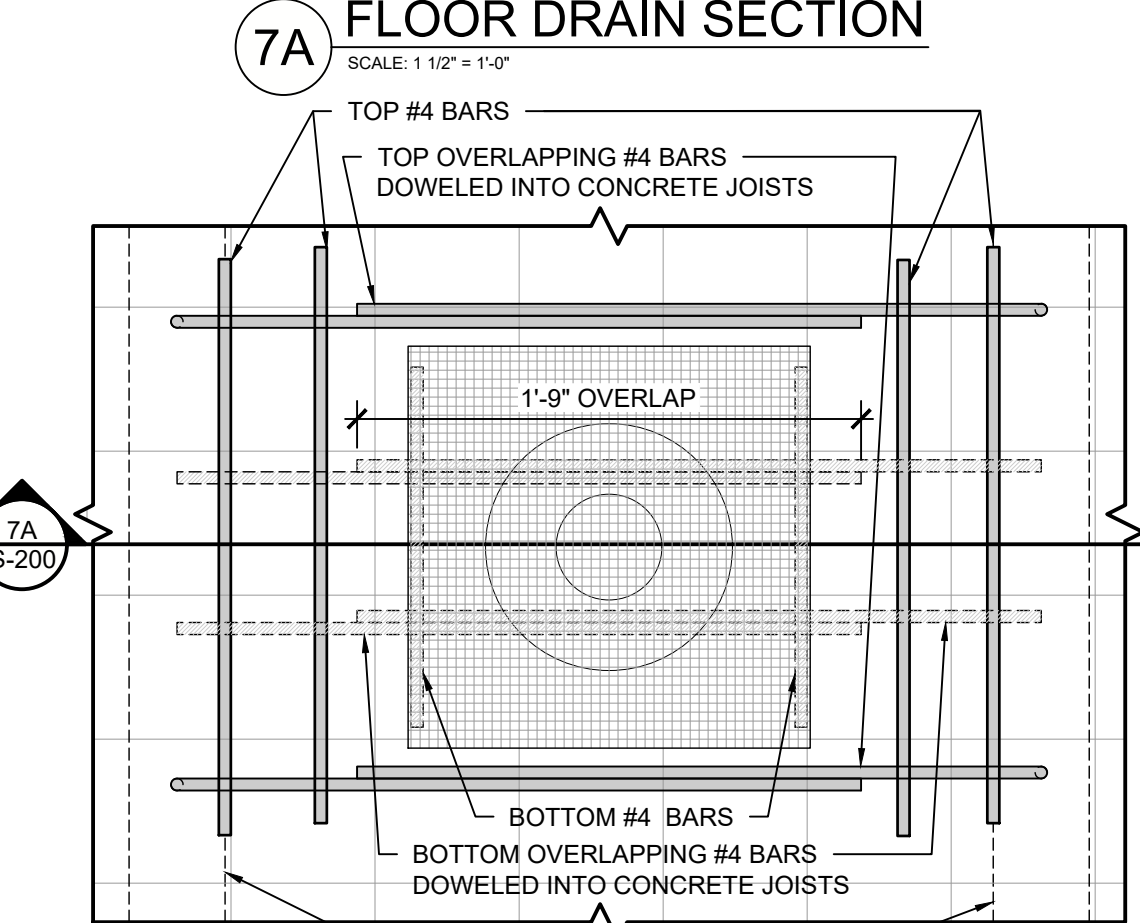
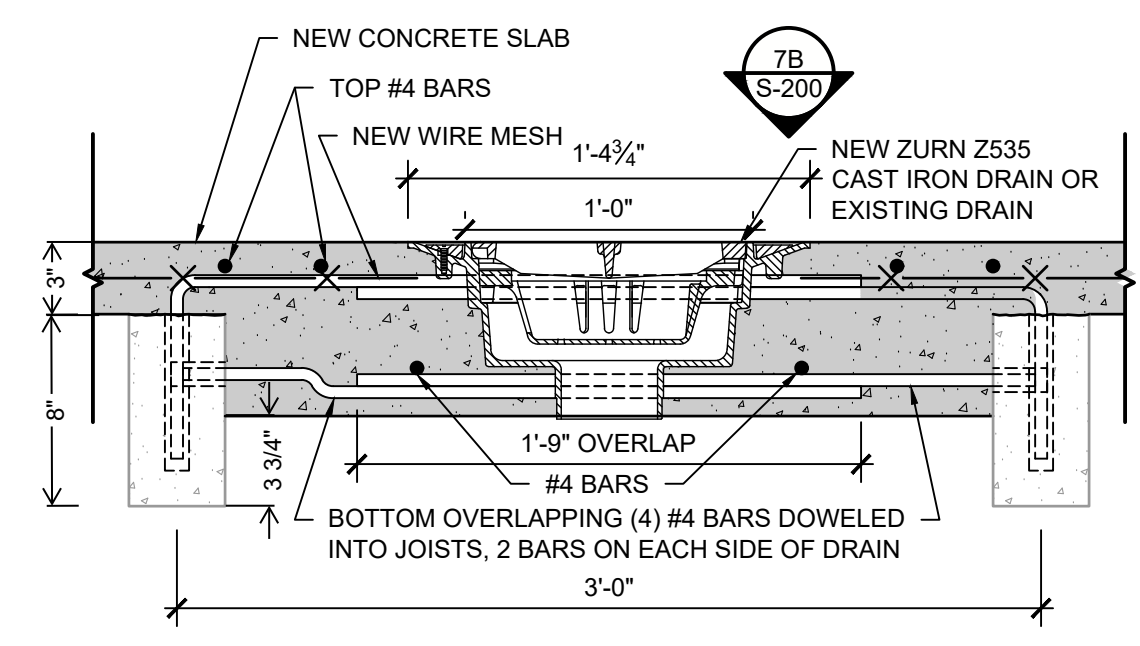
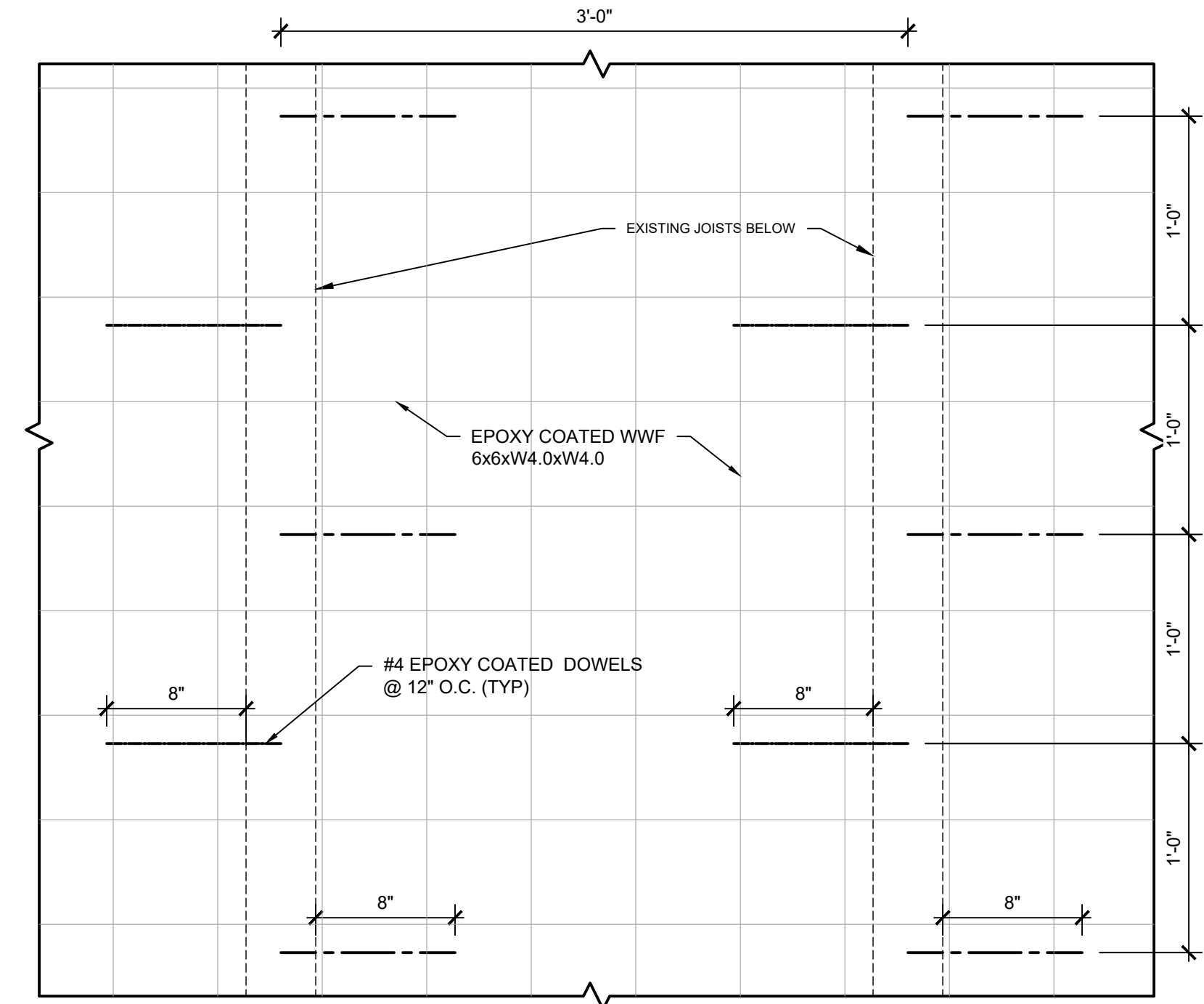
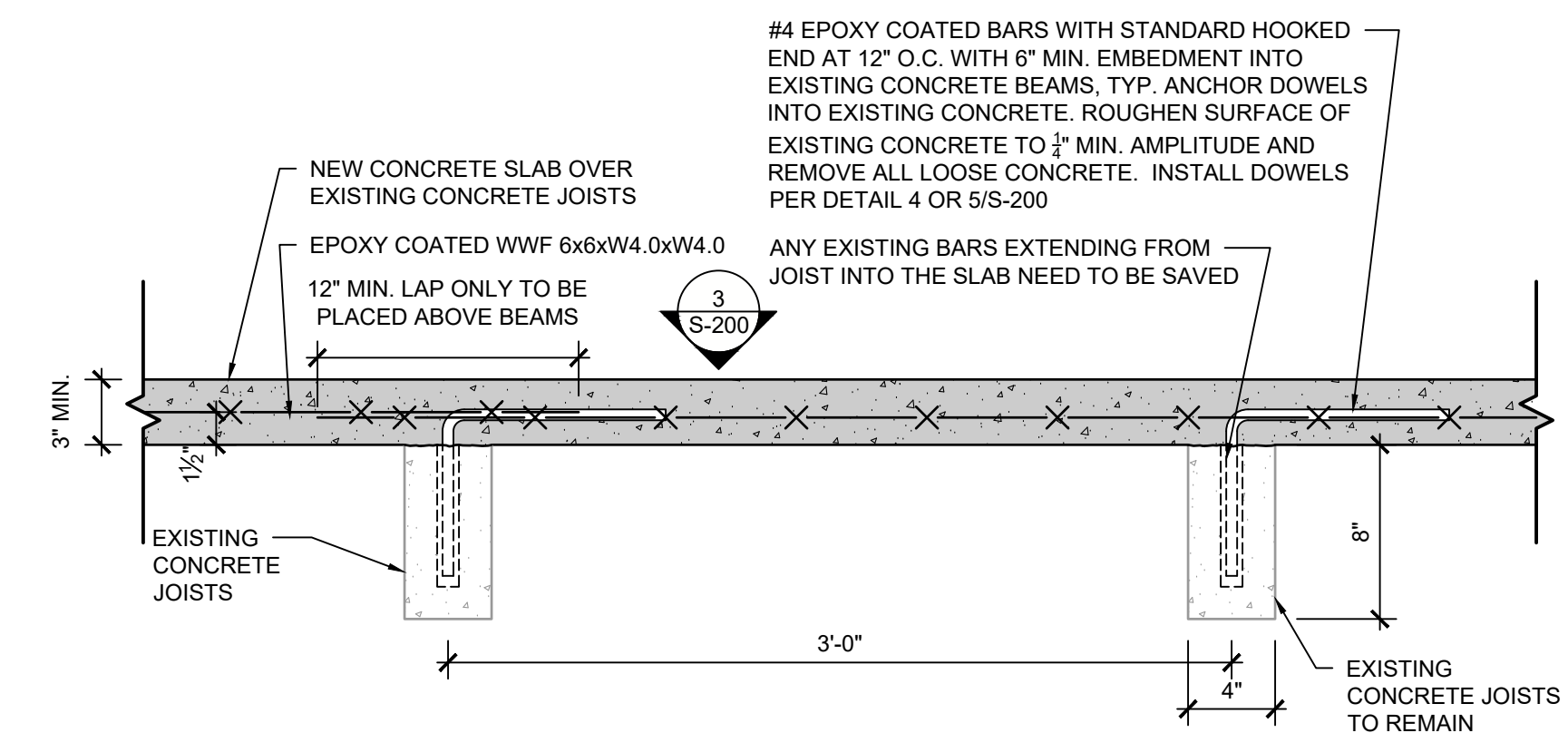
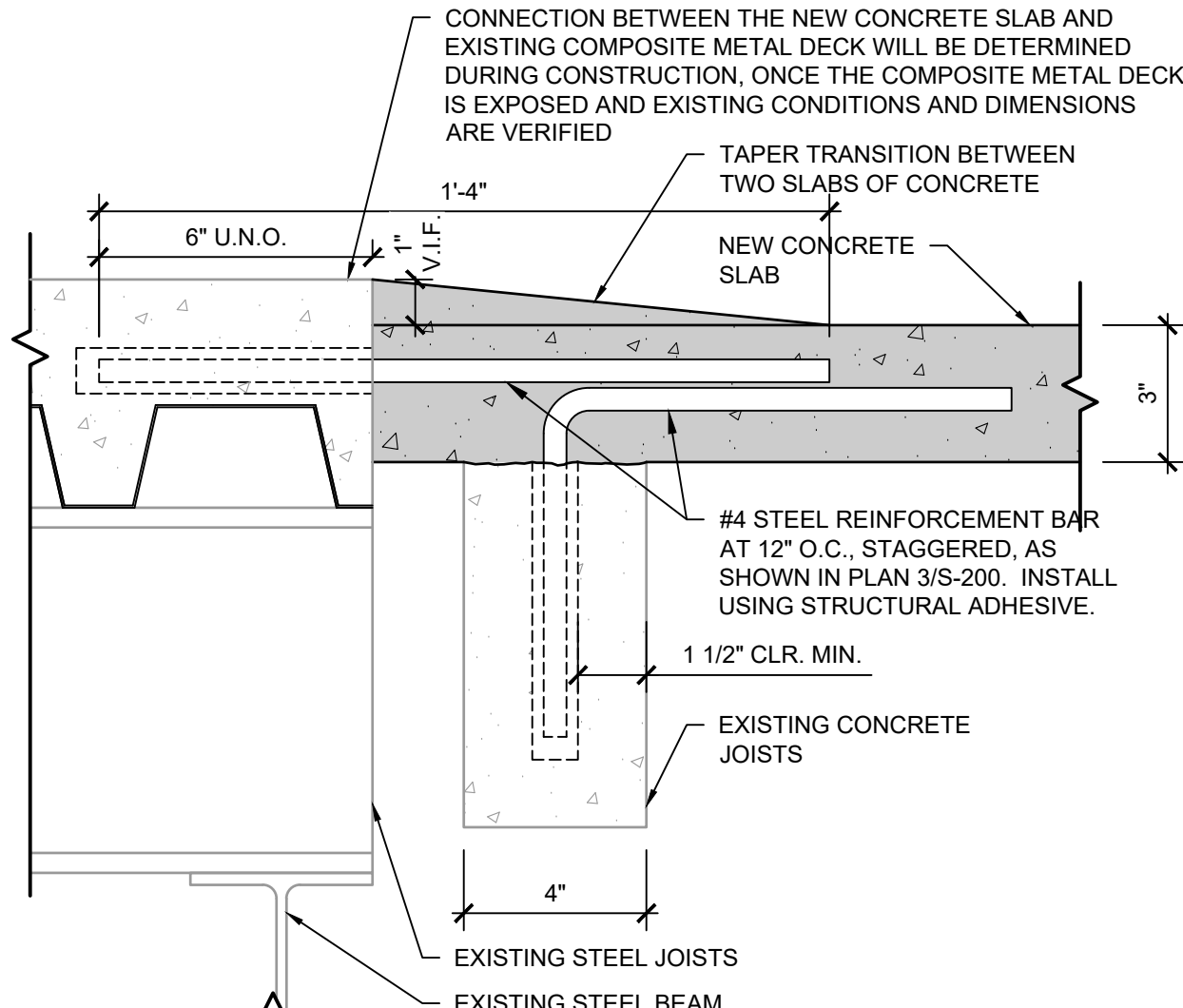
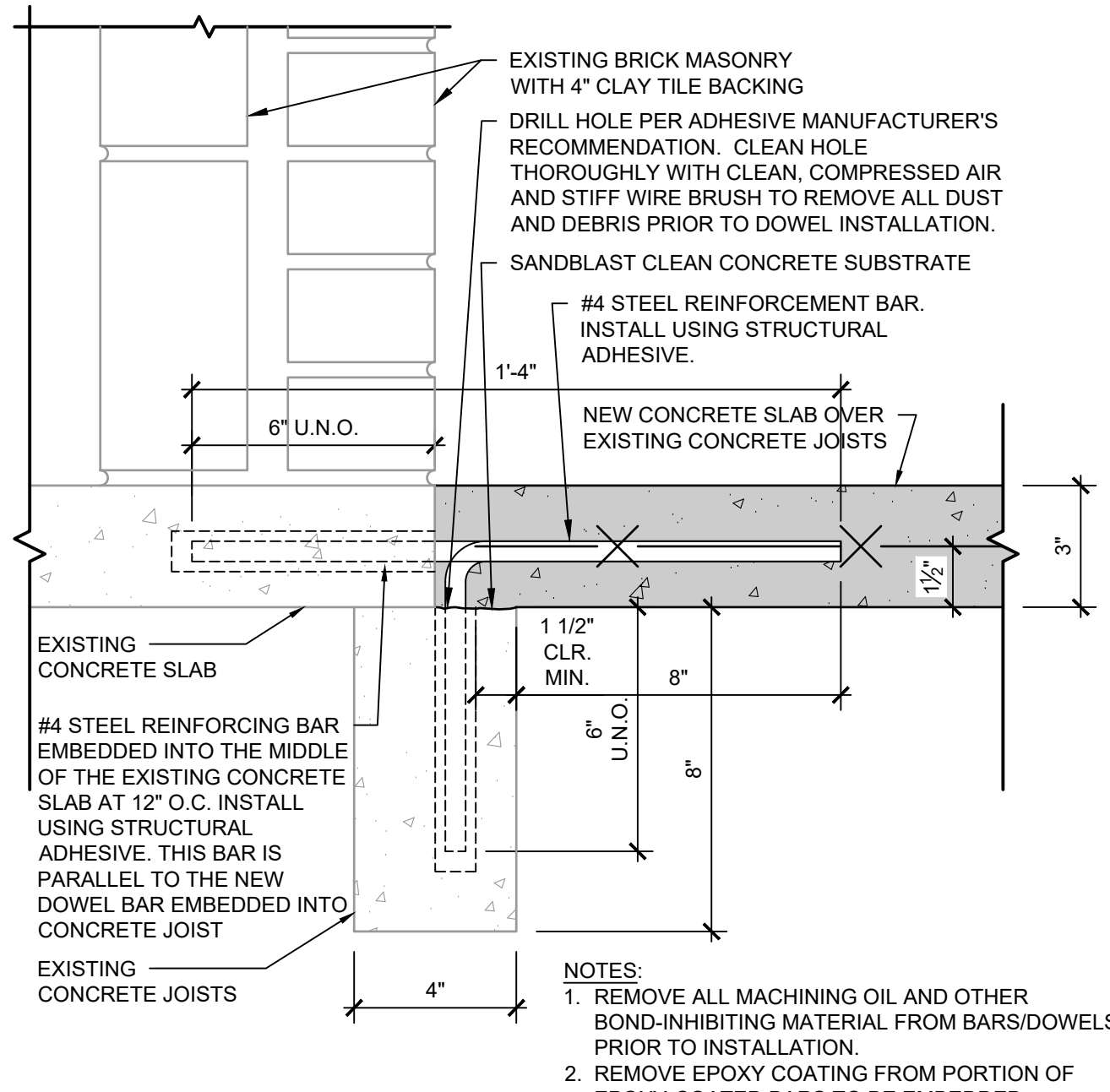
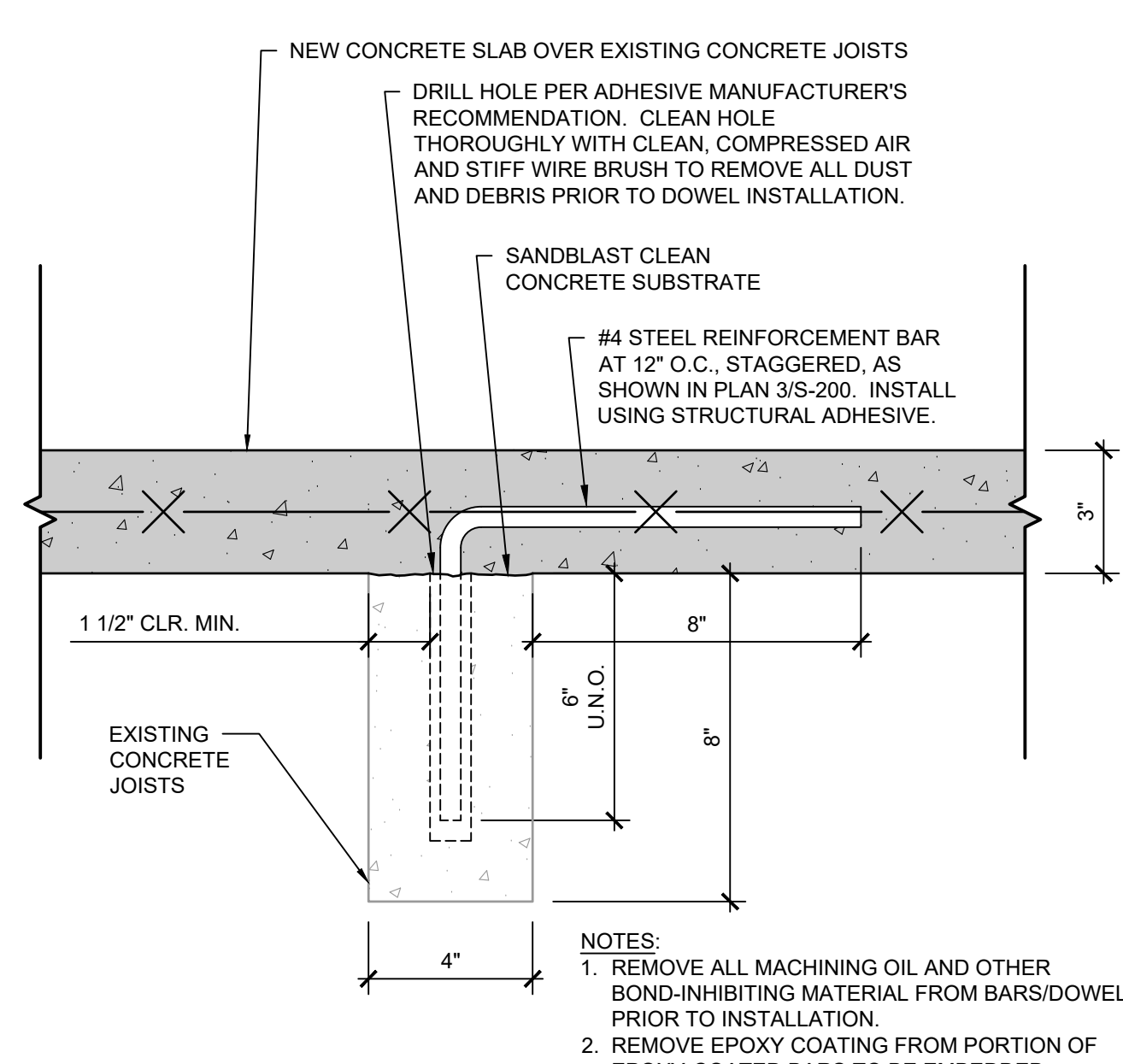
PROJECT NO.	2026.0261
DATE	FEBRUARY 25, 2026
DRAWN	SKA
REVIEWED	DV/PLP

**SCOPE OF WORK AND  
 ELEVATION SURVEY**  
 SHEET NO. **S-101**

Plotted: 2/25/2026 4:52 PM by Andrews, Sandi  
 File Name: C:\Users\sandrew\OneDrive\Work (on laptop)\2026\0261 - 578 BROADWAY 3RD FLOOR SLAB\Sheets\S-200 NEW CONCRETE SLAB.dwg  
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KEY	
1	NEW 3" THICK CONCRETE SLAB
2	COMPOSITE DECK TO REMAIN IN PLACE
3	EXISTING FLOOR DRAIN TO REMAIN
4	NEW FLOOR DRAIN



Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit  
Doylestown | Honolulu | Houston | Indianapolis | London | Los Angeles  
Milwaukee | Minneapolis | New Haven | New York | Northbrook (HQ)  
Philadelphia | Pittsburgh | Portland | Princeton | Raleigh | San Antonio  
San Diego | San Francisco | Seattle | South Florida | Washington, DC

**Wiss, Janney, Elstner Associates, Inc.**  
330 Pfingsten Road  
Northbrook, Illinois 60062  
847.272.7400 tel

**FOR BID**

CONSULTANT

PROJECT  
**GENESIS TOWERS  
SENIOR HOUSING  
REPLACEMENT OF 3RD  
FLOOR CONCRETE SLAB  
578 BROADWAY  
GARY, INDIANA 46402**

CLIENT  
**THE GARY HOUSING AUTHORITY  
DEPARTMENT OF  
PROCUREMENT SERVICES  
578 BROADWAY, 2ND FLOOR  
GARY, INDIANA 46402**

MARK	DATE	DESCRIPTION

0" 10" 1" 2"  
THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)

PROJECT NO. 2026.0261  
DATE FEBRUARY 25, 2026  
DRAWN SKA  
REVIEWED DV/PLP  
SHEET TITLE

**NEW CONCRETE SLAB**  
SHEET NO. **S-200**



**Gary Housing Authority**

Sign-In Sheet

Pre-Bid Meeting

GHA Project # 2026-100-007

Replacement of Concrete Slab at Genesis Towers

Date: March 11, 2026

Time: 10:00 am

NAME	COMPANY NAME & ADDRESS	PHONE & EMAIL
1. Rolando Cantu	Berglund	219) 201-3487 rcantu@berslundco.com
2. Kevin Dantzler	PBF MAIL @ PREBUILDERS INC.COM	773-851-5511
3. Daniel Ortiz	WJE	908 590 4222 doriz@WJE.com
4. SANJIV JAIN	CVR / GHA	630-369-0009 -jain@CVRASSOCIATES.COM
5. Sterling Sinclair	GHA	219 616 3805 5510clair@garyhousing.org
6. LaSherie Harmon	GHA	219-201-4492 lharmon@garyhousing.org
7. Danny Polant	Grimmel	219.321.5367 dpolant@grimmerconstruction.com
8.		



**Gary Housing Authority**

Sign-In Sheet  
2<sup>nd</sup> Site Visit

GHA Project # 2026-100-007

Replacement of Concrete Slab at Genesis Towers

Date: March 17, 2026 Time: 10:00 am

NAME	COMPANY NAME & ADDRESS	PHONE & EMAIL
1. Art Pollano	Myers Builders Inc / 4802 Alexwood Ave ETC 46318	(219) 455-0126 myersbuilders@myersbuilders.com
2. DJ Walker	TLC Plumbing Inc	(219) 922-6214 dj@tlcplumbinginc.net
3. Kevin Dantzler	PBI	773-851-5511
4. Luke Hubbard	Garimp / 3965 Harrison St	MOBILEPROBUILDERSINC.COM 219-887-9293 josh.crandall@garimp.com
5. Oscar Martinez	Martinez Construction	219-545-7115 martinezom@att.net
6. STEVE YOUNGCLA	SAFE ENVV	815-955-5173 SMUNCILIA@SAFE-ENNV.COM
7. Roland Cartra	Berglund	rcatra@berglundco.com
8. Ben Spaka	Intermed Services	219 781 2981 RyanS@IntermedServices.com



**Gary Housing Authority**

9.			
10.			
11.			
12.			
13.			
14.			
15.			

3<sup>rd</sup> SITE VISIT

3/18/26  
9:00 am

GHA PROJECT 2026-100-007  
REPLACEMENT OF CONCRETE  
SLAB  
MARCH 18, 2026 @ 9:00am



Gary Housing Authority

9.1 MATT CLARK SOLID PLATFORM	219-762-8654	SOLID PLATFORM (PRECISION SUB)
10.2 SEAN MCMURRAY BRAND SIDEWAY	773-620-3803	BRAND (PRECISION SUB)
11.3 KEVIN DANTZLER		PRECISION
12.4 JOSH FUGETH		(PRECISION SUB)
13.5 KEEN KULLASIA		(PRECISION SUB)
14.		
15.		